

**DATE:** June 9, 2021

**SUBJECT:**

<u>Certificate of Appropriateness Request:</u>	H-01-21
<u>Applicant:</u>	Harry and Andrea McKay
<u>Location of subject property:</u>	135 Spring Street NW
<u>Staff Report prepared by:</u>	Katherine Godwin, Sr. Planner

**BACKGROUND:**

- The subject property, 135 Spring Street NW, is an “Contributing” structure in the North Union Street Historic District. (Exhibit A).
- Built Circa 1900
- Well-preserved, frame, L-shaped cottage. Door has molded architrave and transom. Delicate porch post and spindle balustrade make up the porch that extends the length of the façade. Projecting façade gable exhibits a box cornice with returns and circular vent. A vented gable dormer is placed rather awkwardly in the main gable roof. Two interior chimneys with corbeled caps make up the rest of the house’s significant features (Exhibit A).
- Applicants are requesting a Certificate of Appropriateness to:
  - Remove two trees;
  - Construct a two-story, two-car, detached garage with covered patio and outdoor kitchen;
  - Install an inground lap pool with surround;
  - Replace a segment of wooden stockade fence and install a new wooden shadowbox fence (Exhibit B).

**DISCUSSION:**

The applicants are requesting to: remove two trees; construct a two-story, two-car, detached garage with a covered patio and outdoor kitchen; install an inground lap pool with surround; and replace a segment of wooden stockade fence and install a new wooden shadowbox fence (Exhibits B, D, E, F, G, and H).

In order to install the lap pool and construct the garage and covered patio, a Southern Magnolia and American Holly will need to be removed (Exhibits B, D, and G). Both trees had a risk rating of 3 and the additional comment of “this young tree has no structural or health issues that indicate above normal risk” (Exhibit G). The American Holly would be replaced with a Dogwood tree and the Southern Magnolia would be replaced with an Elm tree (Exhibit B and H).

The proposed garage would be a two-story, two-car garage, measuring 30’ X 23’, with an attached covered patio measuring 10’ X 20’ and 11” to the side (Exhibit D). The garage would include two 8’ X 8’ overhead garage doors with automatic openers, a closet for pool equipment on the ground floor, and a bathroom and a bonus/guest room on the second story (Exhibits B, D, and E). The wood siding, trim detail, soffits and fascia details, wood shakes, brick foundation (painted black), and asphalt shingles of the garage would all match the primary structure (Exhibits B, D, E, and H). The elevations show a total of six (6) windows in the garage of various sizes (front gable- 30”X60” wood, divided light, double hung, rear gable- 24”X24” wood divided light, double hung, and shed dormer- four wood, roll out divided light, casement windows

measuring 32"X 56" each) with the majority of the windows being found on the side facing the applicant's yard (Exhibits B, D, and E). There would be one or two exterior doors (measuring 32" X 84"), one potentially at the rear of the garage (shown in the site plan but not in the rear elevation) and one on the yard side of the garage consisting of wood, two panels, and a lite with a three over three pattern (Exhibits B, D, and E). There would also be a dormer on the yard side elevation with metal roofing to match the covered patio, wood shakes to match the house, and four of the six windows previously mentioned (Exhibits B, D, and E).

The covered patio would be attached to the side of the garage and measure 10' X 20' and 11" (Exhibits B, D, and E). The patio would have metal roofing, brick or stone flooring, and six (6) wood columns that would match the house in detail (Exhibit D). There would be an outdoor kitchen consisting of a stove, range hood, sink, refrigerator, and a brick backsplash (Exhibit D).

The inground lap pool would measure 10' X 27', be 4' deep, and consist of Gunite construction and a minimum of 18" in surround (Exhibits B, D, and E).

A segment of wooden stockade fence measuring approximately 40' would be replaced with a new wooden shadowbox fence measuring 6' tall and stained Charleston Green to match the rest of the fence (Exhibits B, D, E, F, and H).

#### **ATTACHMENTS**

- Exhibit A: Historic Inventory Information
- Exhibit B: Application for Certificate of Appropriateness
- Exhibit C: Subject Property Map
- Exhibit D: Site Plan and Elevations
- Exhibit E: Images and Scope
- Exhibit F: Fence Images
- Exhibit G: Tree Risk Assessment Forms and Images
- Exhibit H: Email Correspondence

#### **HISTORIC HANDBOOK DESIGN RECOMMENDATIONS:**

##### **Approval Requirement Needs Table**

- *New Construction or Additions: All new construction and additions require Commission Hearing and Approval.*
- *Fencing and Gates (See Masonry Walls): All types require Commission Hearing and Approval.*
- *Trees: Removal of healthy trees or pruning of limbs over six inches in diameter in any location on the property require Commission Hearing and Approval.*
- *Miscellaneous: Any type of alteration of exterior features of a building, site, or environment which is not specifically listed require Commission Hearing and Approval.*

##### **Chapter 5 – Section 3: New Accessory Structure Construction**

- *If an original carriage house, garage or outbuilding is completely missing, replace with either a reconstruction based on accurate documentation or a new design compatible with the historic character of the main building or historic accessory structures in the district.*

- *Keep the proportion of new garages and accessory structures compatible with the proportion of the new house. Typically, these buildings were smaller in scale than the main house.*
- *New garages and accessory structures must use traditional roof forms, materials, and details compatible with the main building or historic accessory structures in the district.*
- *Locate new garages and accessory structures in rear yards and in traditional relationship to the main buildings.*
- *All accessory structures shall remain detached from the main building.*
- *Accessory buildings for Pivotal and Contributing structures should complement the siding and roof material of the primary structure.*

#### **Chapter 5- Section 4: Siding and Exterior Materials**

- *There are a variety of materials available for use on the exterior of both existing structures and for new construction. Wood siding is the predominate exterior material within the Historic Districts, although some structures have masonry. The most common type of wood siding is clapboard, which consists of beveled boards that are thicker on the bottom, and are installed so there is some overlap. Other types of wood siding that may be encountered include rabbeted, drop, flush and board and batten.*
- *Another type of exterior material found in the districts is cut wood which covers the frame of the building. Examples of cut wood shingles are spaced and cut, fish scale, feather cut, imbricated and beveled, and stagger butt.*

#### **Chapter 5- Section 5: Fenestrations**

- *Windows on most of the historical homes are of the double hung variety. Emphasis is on vertical rather than horizontal orientation of windows. The number of lights (panes) in the sash varies with the style and period of the house.*
- *New windows should be consistent or compatible with existing units. The emphasis of the new windows should be vertical rather than horizontal. Wood is the most appropriate material, and vinyl and aluminum clad windows are inappropriate in most instances.*
- *Modern window production includes hybrid windows that include synthetic components or mixed composition of wood and synthetic products. This type of window should not be used for the replacement of traditional wooden windows or within structures designated as Pivotal or Contributing.*
- *Choose windows that are appropriate for the style of building, maintain vertical emphasis, and avoid large single paned units.*
- *The typical doors in the Historic Districts are solid-paneled or with one or more light panels. New doors should be compatible with the period and style of the structure. Doors to avoid include flat-surfaced doors and those with conventional light panels.*
- *Use doors that are appropriate for the style of building while avoiding flat-surfaced doors, those with small decorative glass panels, and pre-finished window/side lite art glass units.*

#### **Chapter 5- Section 7: Roofing**

- *Existing patterns of roofs are usually pitched with variations in steepness, shapes, orientations and combinations. No more than one-half of the height of a structure should appear as roof.*

- *Materials are usually consistent over the entire structure, although there are changes in material where there are changes in steepness or shapes. Typical roofing materials used are tin, copper, slate, tiles, wood, and composition shingle.*
- *New construction should avoid A-frame, dome, shed and flat -alone roof shapes.*
- *New construction should avoid the roof being more than one-half the building's height.*
- *Use materials in new construction that are consistent with the style of the building; materials should be unobtrusive in texture as well as color.*
- *Roof shapes, texture and material should be compatible with new construction as well as with immediate buildings.*

#### **Chapter 5 - Section 8: Landscaping and Trees**

- *Removal of healthy trees over the size of 6 inches in diameter (measured 4 feet above ground) or pruning of healthy tree limbs over 6 inches in diameter requires Historic Preservation Commission review and approval.*
- *All trees that are removed should be replaced with a tree of similar species in an appropriate location unless no suitable location exists on the subject site. Trees removed within street view must also have the stumps removed below ground level.*
- *Trees which are removed shall be replaced by a species which, upon maturity, is similar in scale to the removed specimen. For example, canopy trees shall be replaced with canopy trees, and understory trees with understory trees.*

#### **Chapter 5 – Section 9: Fences and Walls**

- *All wooden fences should be “stick-built” on site.*
- *Wooden fences visible from the street and/or wooden fences in front yards and side yards of corner lots are required to be painted or stained white or a color matching the body or trim of the structure, including shutters, foundation color, etc.*
- *Painting or staining is recommended, but not required, for rear yard fences unless they are visible from the street.*
- *If a fence is designed as a single-sided fence, one with detailing on only one side, the finished detail should be on the outside face of the fence (facing neighboring property).*
- *Additionally, wood picket fences should have pickets spaced at a minimum of 1 inch or half the width of the picket. (See notes regarding “Privacy Fences” for allowable exceptions to this rule.)*
- *Additionally, it is not appropriate to introduce walls or fences in front yards and side yards at corner lots that are more than 65% solid.*
- *Where fences are desired in front yards and side yards at corner lots, the design should be primarily decorative in nature. Front yard fences should not exceed four feet in height.*
- *Rear yard fences may be higher than four feet. The portions of rear yard fences that face the street should be landscaped with shrubs and trees of a planting size that will fully hide the fence from the street within two years. Size, type, and growth habits of plant materials to screen rear yard fences that face the street should be submitted at time of application.*
- *All proposed fences and walls should not negatively affect existing trees and mature landscaping.*

- *Privacy fences are defined as fences with no spacing between pickets or fences of the shadowbox design. Privacy fences may be allowed at the discretion of the Commission in the following circumstances:*

1. *Privacy fences are most appropriate in rear yards.*
2. *Privacy fences may be allowed where the applicant's rear yard is directly adjacent to property that is either not in a historic district, or is within a historic district but is non-contributing or intrusive in that district. The applicant shall show to the satisfaction of the Commission:*

*(a) that the adjacent property is unsightly in comparison to other properties surrounding the applicant's property,*

*(b) that the adjacent property or nearby property raises reasonable security concerns for the applicant, or*

*(c) that the adjacent property could reasonably be determined to negatively impact the property value of the applicant's property.*

*Privacy fences shall be allowed only on the applicant's property line directly adjoining the aforesaid adjacent property unless the Commission feels that such a partial privacy fence would not be visually appropriate or would not accomplish the purpose(s) of the privacy fence set forth above.*

3. *Privacy fences encompassing an area of no more than 250 square feet may be allowed at the discretion of the Commission when adjacent to the applicant's house, garage, or other outbuilding in order to screen from view trash cans, mechanical equipment, cars or other unsightly items, provided such fence does not unreasonably impact any neighbor by blocking windows or the like.*

*Privacy fences allowed by the Commission should be landscaped where practical with appropriate shrubbery to soften the appearance of the fence.*

#### **Concord Development Ordinance Regulations:**

##### **Section 8.4.4 Swimming Pools**

*A private swimming pool along with incidental installations, such as pumps and filters, is permitted in any residential zoning district provided:*

- A. *The swimming pool and incidental installations are located in a location other than the front yard.*
- B. *If any pool contains at least four hundred fifty (450) square feet of water surface area or has a depth of thirty-six (36) inches or greater at its shallowest point, the pool shall be enclosed from adjoining lots by the Principal Building, and Accessory Building, a solid wall, or a protective fence of not less than four (4) feet in height. In the alternative, a pool cover shall be provided and shall be installed whenever the pool is not in use.*
- C. *The swimming pool shall be set back from all lot lines a distance of not less than five (5) feet.*

**RECOMMENDATION:**

1. The Historic Preservation Commission should consider the circumstances of this application for a Certificate of Appropriateness relative to the North and South Union Street Historic Districts Handbook and Guidelines and act accordingly.
2. If approved, applicant(s) should be informed of the following:
  - City staff and Commission will make periodic on-site visits to ensure the project is completed as approved.
  - Completed project will be photographed to update the historic properties survey.

**United States Department of the Interior  
National Park Service**

**National Register of Historic Places  
Inventory—Nomination Form**

For NPS use only  
received  
date entered

Continuation sheet	Item number	Page
Inventory List - North Union Street Historic District, Concord	# 7	62

House has a broad, molded frieze. Unlike the cornice over two southern bays, the northern bay of facade has a cornice with scroll-like brackets. The southern bays are shingled rather than beaded weatherboard. Questionable as to the originality of brackets. Porch displays various Colonial Revival elements. It is supported by paired Tuscan columns rising from the covers the full facade and one bay of south elevation. Other classical influences consist of broken pediment adorned with a garland and a urn-shape finial that projects forward on the porch over the entrance. A modillion block cornice above the second floor is another Colonial Revival feature.

J.L. Hartsell was a Concord industrialist who was the first Secretary-Treasurer of the Young-Hartsell Cotton Mill. Hartsell founded the company along with R.S. Young and P. Fetzer.

126. Cottage/House  
129 Spring Street, N.W.  
ca. 1890  
C

A L-shaped Victorian cottage in beaded weatherboard has two-over-two sash windows and two original interior chimneys with corbeled detail. North side exhibits a slanted bay with a witches-cap-roof. Ell is placed parallel to the facade and an interior chimney. Three-bay facade features a projecting gable with boxed cornice and returns. The original turned posts that are characteristic of most Queen Anne porches have been replaced with wrought iron supports.

127. Cottage/House  
135 Spring Street, N.W.  
ca. 1900  
C

Well-preserved, frame, L-shaped cottage. Door has molded architrave and transom. Delicate porchpost and spindle balustrade make up the porch that extends the length of the facade. projecting facade gable exhibits a box cornice with returns and circular vent. A vented gable dormer is placed rather awkwardly in the main gable roof. Two interior chimneys with corbeled caps make up the rest of the house's significant features.

**AN INCOMPLETE APPLICATION WILL NOT BE PLACED ON THE AGENDA UNTIL ALL OF THE REQUIRED ATTACHMENTS AND/OR ITEMS LISTED ON PAGE 2 ARE SUBMITTED.**

**APPLICANT INFORMATION**

Name: Harry and Andrea McKay  
Address: 135 Spring Street, NW  
City: Concord State: NC Zip Code: 28025 Telephone: 704.796.2715

**OWNER INFORMATION**

Name: Same  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_ Telephone: \_\_\_\_\_

**SUBJECT PROPERTY**

Street Address: 135 Spring Street, NW P.I.N. # 56207818590000  
Area (acres or square feet): 0.25 acre Current Zoning: RM-2 Land Use: Residential

**Staff Use Only:**  
Application Received by: \_\_\_\_\_ Date: \_\_\_\_\_, 20 \_\_\_\_\_  
Fee: \$20.00 Received by: \_\_\_\_\_ Date: \_\_\_\_\_, 20 \_\_\_\_\_  
*The application fee is nonrefundable.*



**General Requirements**

The Unified Development Ordinance imposes the following rules, regulations and requirements on requests for Certificates of Appropriateness. The applicant must, with reference to the attached plans, demonstrate how the proposed use satisfies these requirements:

1. Project or Type of Work to be Done: Build a garage with guest room loft
2. Detailed specifications of the project (type of siding, windows, doors, height/style of fence, color, etc.):  
Design is attached. Exterior materials will fit the guidelines of the Historic Commission.  
Wood siding, cedar shake, asphalt singles, carriage-style doors. Features and dimensions will  
be taken from the house. See details on the plan drawings. Construction of small lap pool.  
Two trees will need to be removed for construction (see arborist assessment).

**Required Attachments/Submittals**

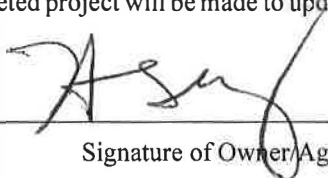
1. Scaled site plan, if additions or accessory structures are proposed, on letter, legal or ledger paper. Larger sized copies will be accepted if **16 folded copies** are submitted for distribution.
2. A photograph of the front of the house.
3. Photographs of site, project, or existing structures from a "before" perspective
4. Drawings, sketches, renderings, elevations, or photographs necessary to present an illustration of the project from an "after" perspective.
5. Samples of windows, doors, brick, siding, etc. must be submitted with application.
6. Detailed list of materials that will be used to complete the project.

*\*\*\*Applications may be submitted electronically.\*\*\**

**Certification**

(1) I hereby acknowledge and say that the information contained herein and herewith is true and that this application shall not be scheduled for official consideration until all of the required contents are submitted in proper form to the City of Concord Development Services Department. (2) I understand that City staff and/or members of the Historic Preservation Commission may make routine visits to the site to insure that work being done is the same as the work that was approved. (3) I understand that photographs of the completed project will be made to update the City's historic districts inventory database.

5/21/21  
Date

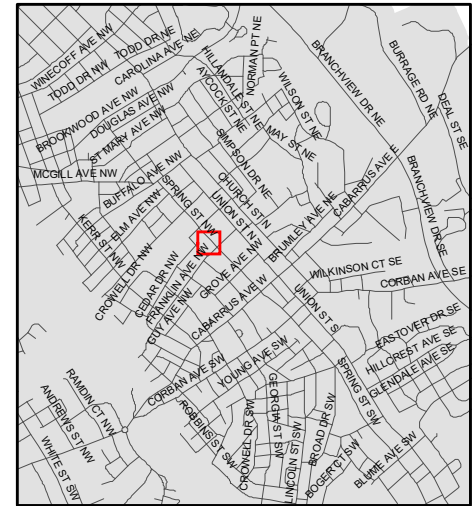
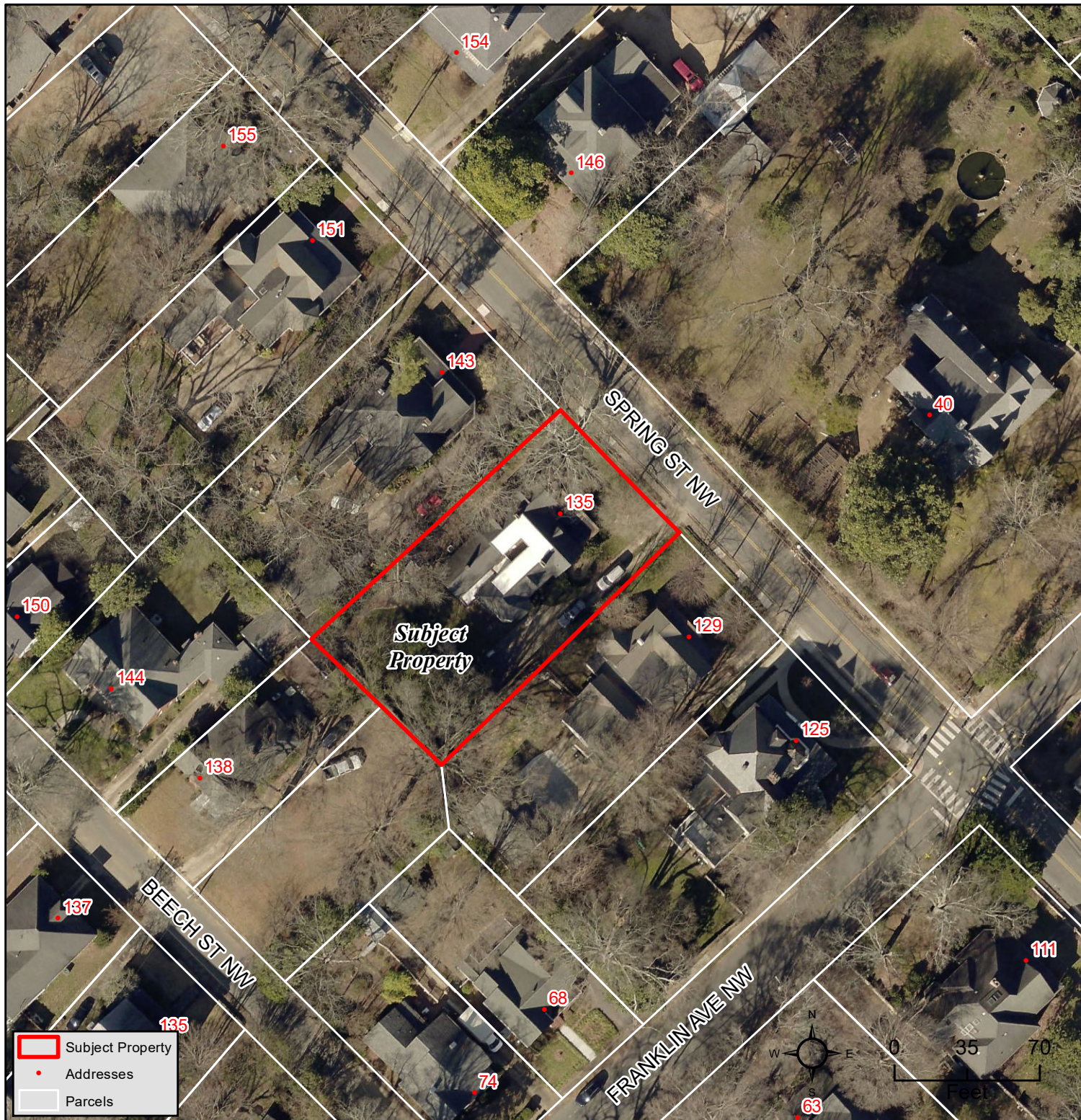
  
Signature of Owner/Agent

H-01-21

135 Spring St NW

PIN: 5620-78-1859

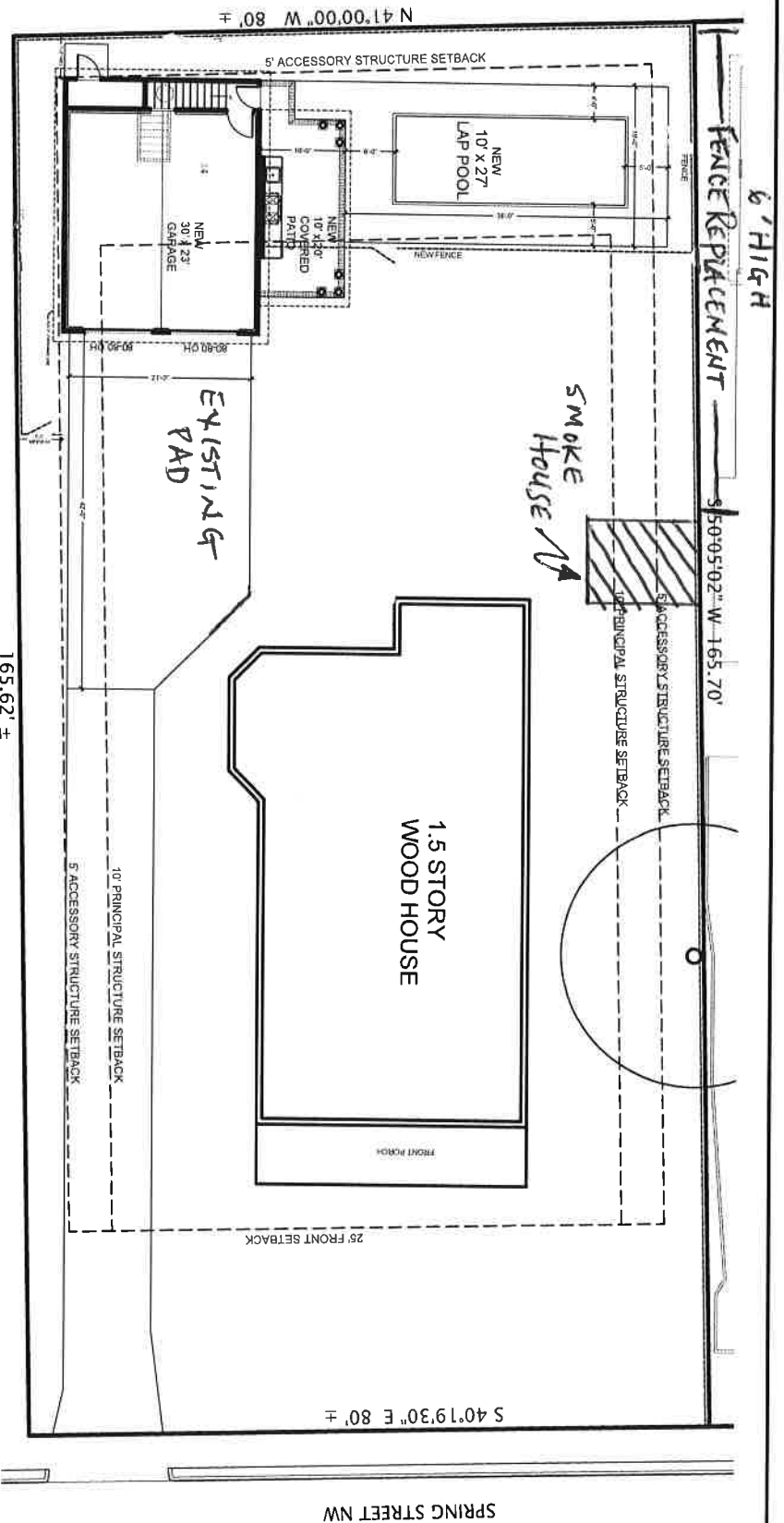
Exhibit C



Source: City of Concord  
Planning Department

**Disclaimer**

These maps and products are designed for general reference only and data contained herein is subject to change. The City Of Concord, it's employees or agents make no warranty of merchantability or fitness for any purpose, expressed or implied, and assume no legal responsibility for the information contained therein. Data used is from multiple sources with various scales and accuracy. Additional research such as field surveys may be necessary to determine actual conditions.

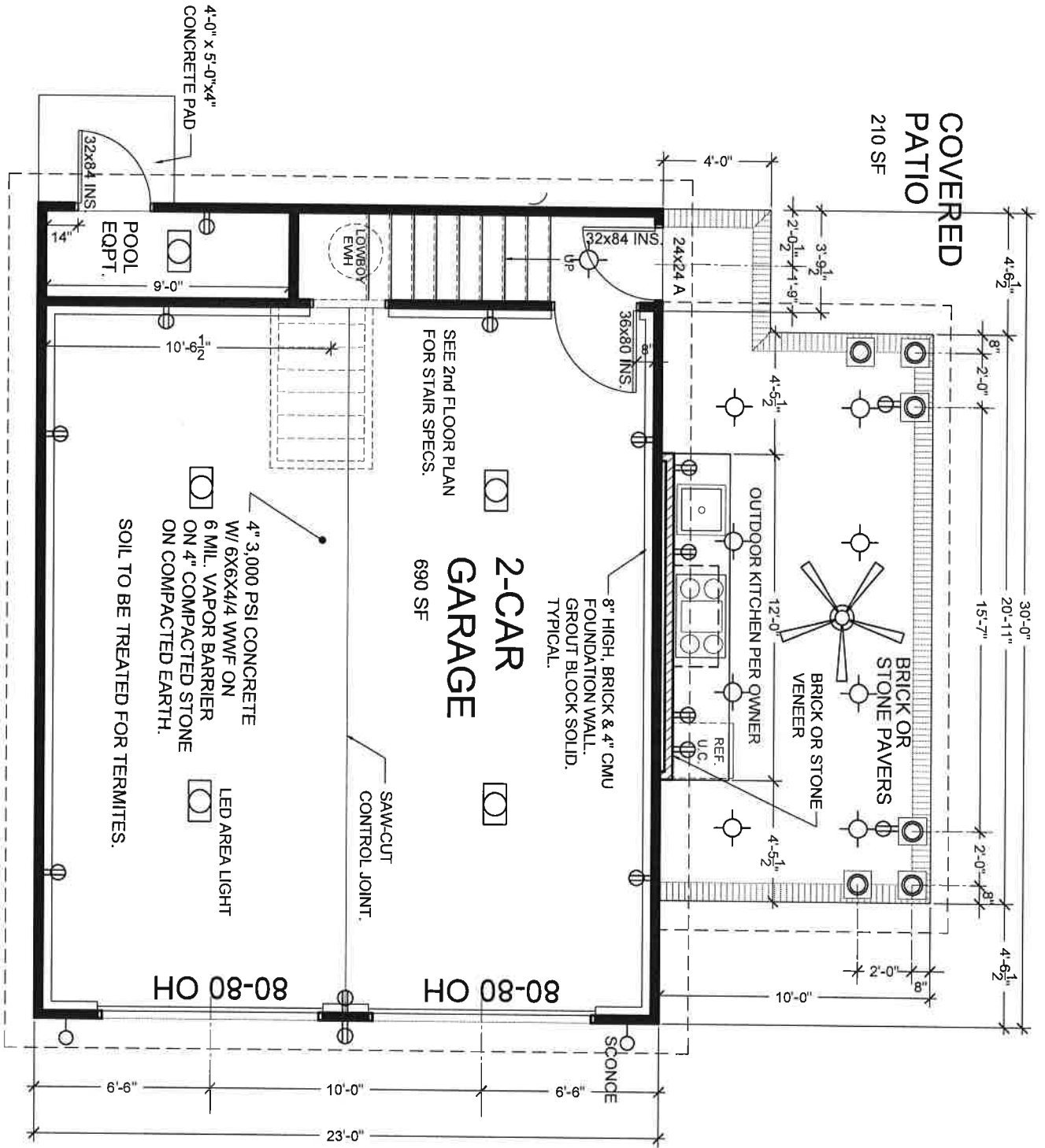


1  
SP  
1" = 20'

PROPOSED SITE PLAN

- NOTES:**
- INTERIOR FLOOR FINISH TO BE FINISHED CONCRETE. VERIFY BONUS ROOM FLOORING WITH OWNER.
  - ALL INTERIOR WALLS: GWB, PRIMED & PAINTED. EXTERIOR WALLS & ATTIC TO BE INSULATED.
  - OWNER & G.C. TO SELECT WINDOWS, DOORS, BRICK, SIDING AND OTHER MISC. BUILDING PRODUCTS. SEE APPROVED HISTORIC SPEC INFORMATION.
  - IN GENERAL, MATERIALS SHALL MATCH EXISTING HOUSE. MATCH HOUSE SOFFIT, FASCIA, & TRIM.
  - OWNER TO SELECT ALL PLUMBING FIXTURES. OWNER & G.C. TO SET PLUMBING ALLOWANCE.
  - DOOR & WINDOW SIZES NOTED IN INCHES. WxH.
  - DOOR & WINDOW INTERIOR CASING STYLE AND BASE & CROWN SHALL BE PER OWNER.
  - OWNER & CONTRACTOR TO SELECT CABINET DETAILS.
  - ELECTRICAL CONTRACTOR TO VERIFY EXISTING SERVICE SIZE & INSTALL NEW PANEL IN GARAGE.
  - POOL DETAILS BY OTHERS.
  - CONSTRUCTION CONSULTATION MAY BE SUPPLIED BY C/JG DESIGNS AT OWNER'S REQUEST. THIS SERVICE TO BE PROVIDED AT STANDARD HOURLY RATE.

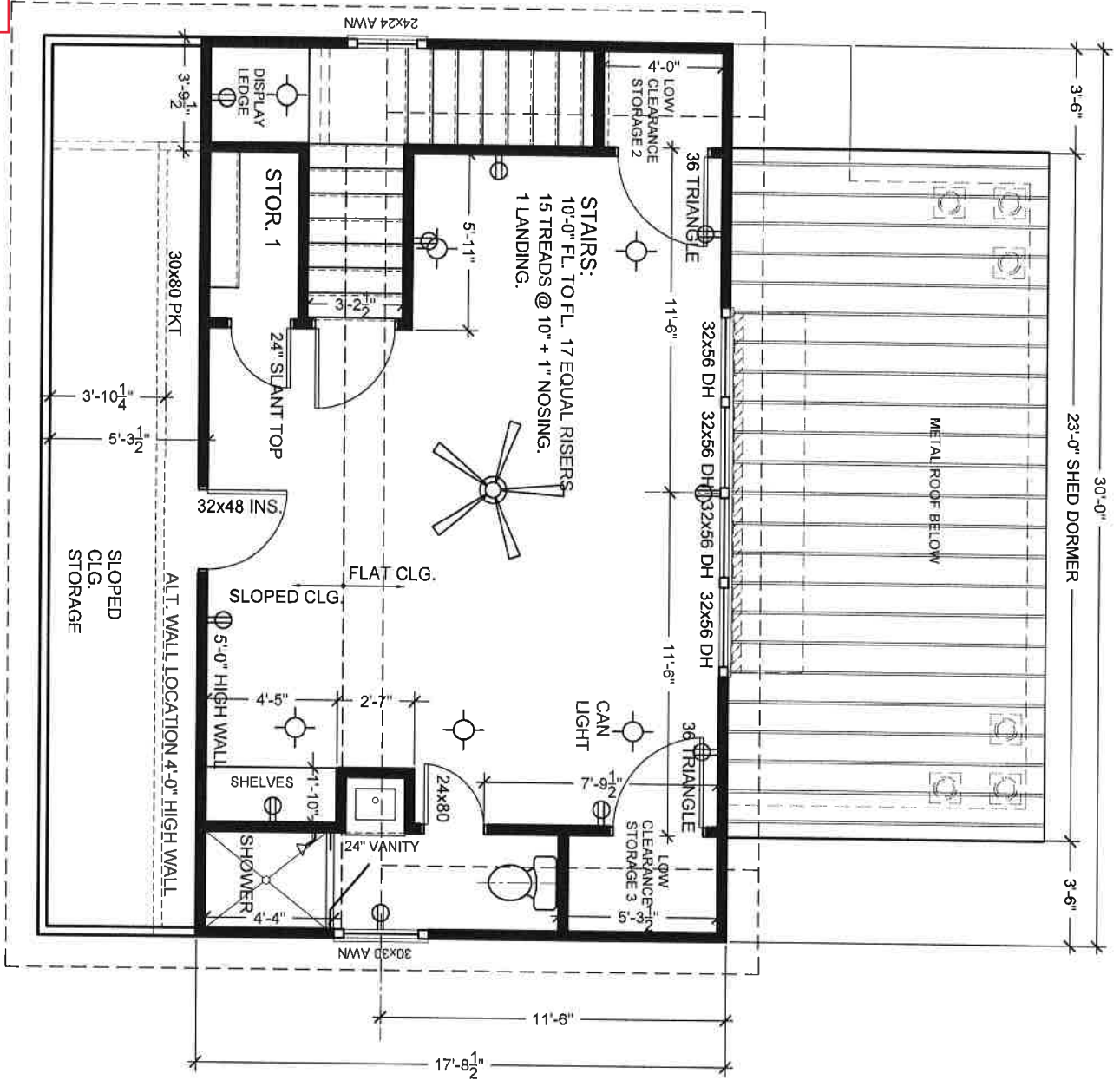
<p>DATE: 10.01.2020 DESIGN: 11.11.2020 FINAL: 12.01.2020</p> <p>REVISIONS: 1. UPDATE SITE PLAN TO SHOW NEW GARAGE 2. PERFORM TO SET PLUMBING ALLOWANCE 3. PERFORM TO SET PLUMBING ALLOWANCE 4. PERFORM TO SET PLUMBING ALLOWANCE</p>	<p>PROJECT: NEW DETACHED GARAGE FOR: <b>HARRY &amp; ANDREA McKay</b> 135 SPRING STREET NW CONCORD, NC</p>	<p>DRAWN BY: <b>C/JG Designs</b> CARY   FLUET The CAREER Corporation</p> <p>147 GLENDALE AVE SE CONCORD NC 28025 Cell: 980 621 0037 cjd@designs@earthlink.net www.cjgdesigns.net</p>	<p>SP</p>
	<p><b>SITE PLAN</b></p>		



1 GARAGE 1st FLOOR PLAN  
A-1 3/16"=1'-0"

A-1	DATE: 10.01.2020	PROJECT: NEW DETACHED GARAGE FOR: HARRY & ANDREA McKay	DRAWN BY: CJG Designs
	DESIGN: 11.11.2020	135 SPRING STREET NW CONCORD, NC	147 GLENDALE AVE SE CONCORD NC 28025
REVISIONS:	FINAL: 12.01.2020	<b>GARAGE FLOOR PLAN</b>	Call: 980.621.0037
1. OWNER BOOK FOR THIS PROJECT			cjgdesign@earthlink.net
2. CHECK FOR CONFLICTS			www.cjgdesigns.net
3. REVISIONS TO BE MADE			
4. IN BOLD TYPE (DATE)			

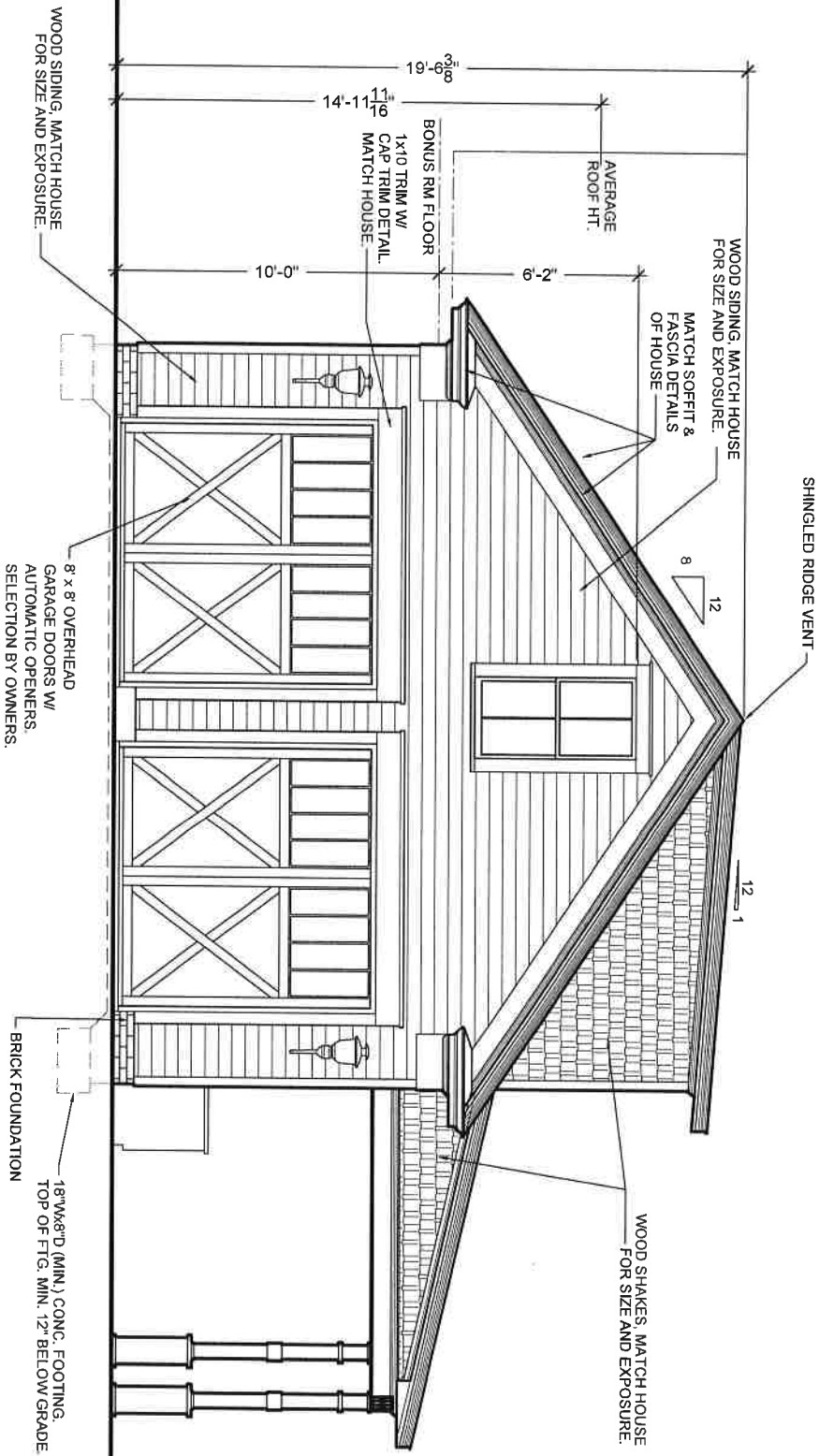
Exhibit D



1 GARAGE BONUS ROOM PLAN  
 A-2 3/16"=1'-0" 424 SF

A-2	DATE: 10.01.2020 DESIGN: 11.11.2020 FINAL: 12.01.2020	PROJECT: NEW DETACHED GARAGE FOR: HARRY & ANDREA McKay 135 SPRING STREET NW CONCORD, NC	DRAWN BY: <b>CJG Designs</b> CARY J GLUF The CARESS Corporation	147 GLENDALE AVE SE CONCORD NC 28025 Cell: 980.621.0037 cjpgdesigns@earthlink.net www.cjpgdesigns.net
	REVISIONS: 1. LOWER ROOM HEIGHT 2. REVISION TO BATH 3. REVISION TO BATH 4. PER BATH 1 LAYOUT	CONTRACTOR: C.J. GLUF	OWNER: HARRY & ANDREA MCKAY	SCALE: 3/16"=1'-0"

Exhibit D

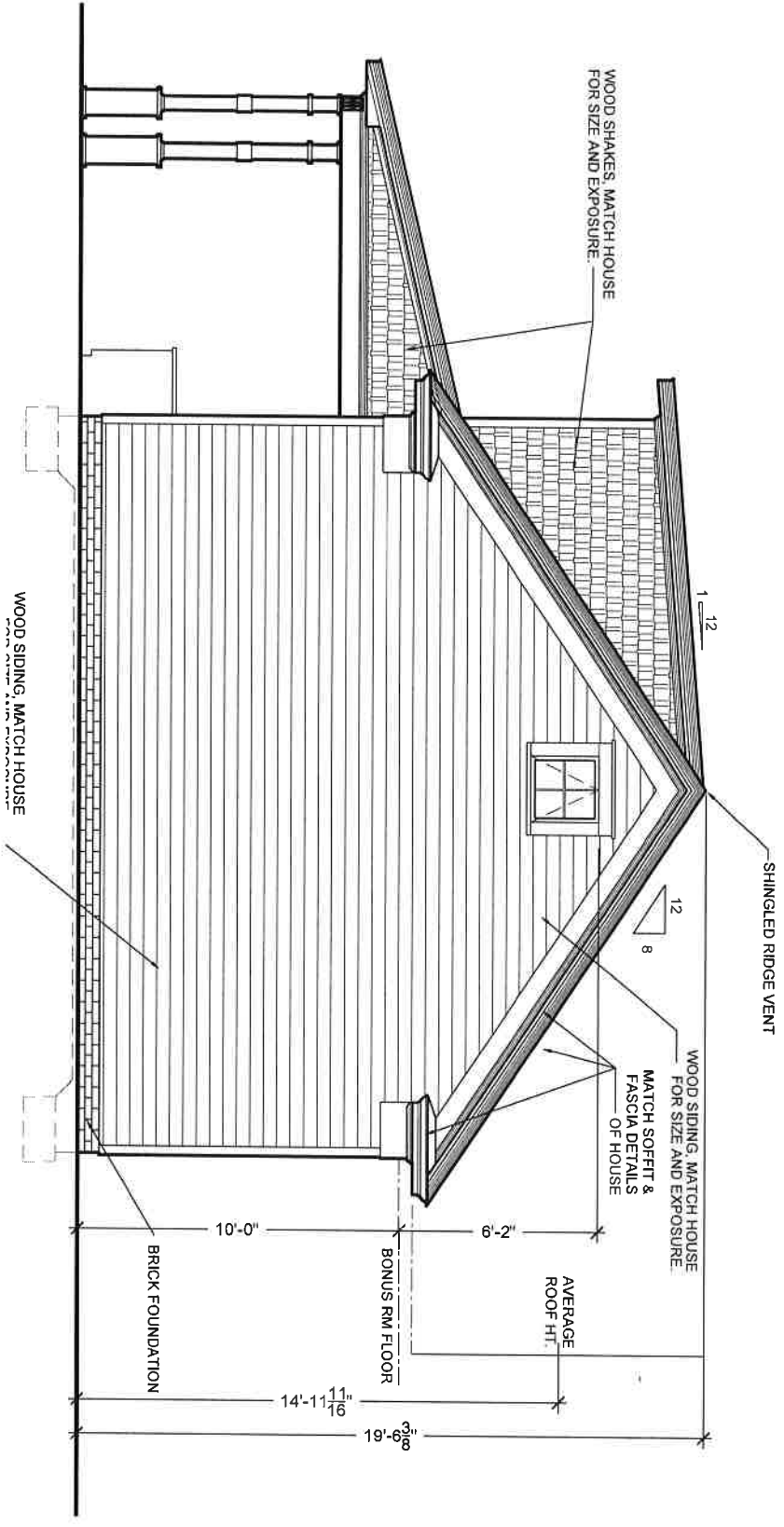


1 FRONT ELEVATION  
A-3 3/16"=1'-0"

A-3	DATE: 10.01.2020 DESIGN: 11.11.2020 FINAL: 12.01.2020	PROJECT: NEW DETACHED GARAGE FOR: HARRY & ANDREA McKay 135 SPRING STREET NW CONCORD, NC	DRAWN BY: C/JG Designs CARY J. GLUP 147 GLENDALE AVE SE CONCORD NC 28025 Cell: 980.621.0037 cjd@design@earthlink.net www.cjgdesigns.net	<p>THIS DRAWING IS THE PROPERTY OF C/JG DESIGNS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF C/JG DESIGNS. ANY UNAUTHORIZED USE OF THIS DRAWING IS STRICTLY PROHIBITED. C/JG DESIGNS ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE USE OF THIS DRAWING.</p>
	<p>REVISIONS:</p> <p>1. CORRECT FOUNDATION DETAIL 2. CORRECT GARAGE DOOR DETAIL 3. CORRECT TO SPEC. REVISIONS 4. FINISH FLOOR (05/23/2020)</p>	<p>OWNER: HARRY &amp; ANDREA MCKAY</p> <p>DESIGNER: C.J. GLUP</p> <p>CHECKER: C/JG</p> <p>DATE: 10.01.2020</p>		

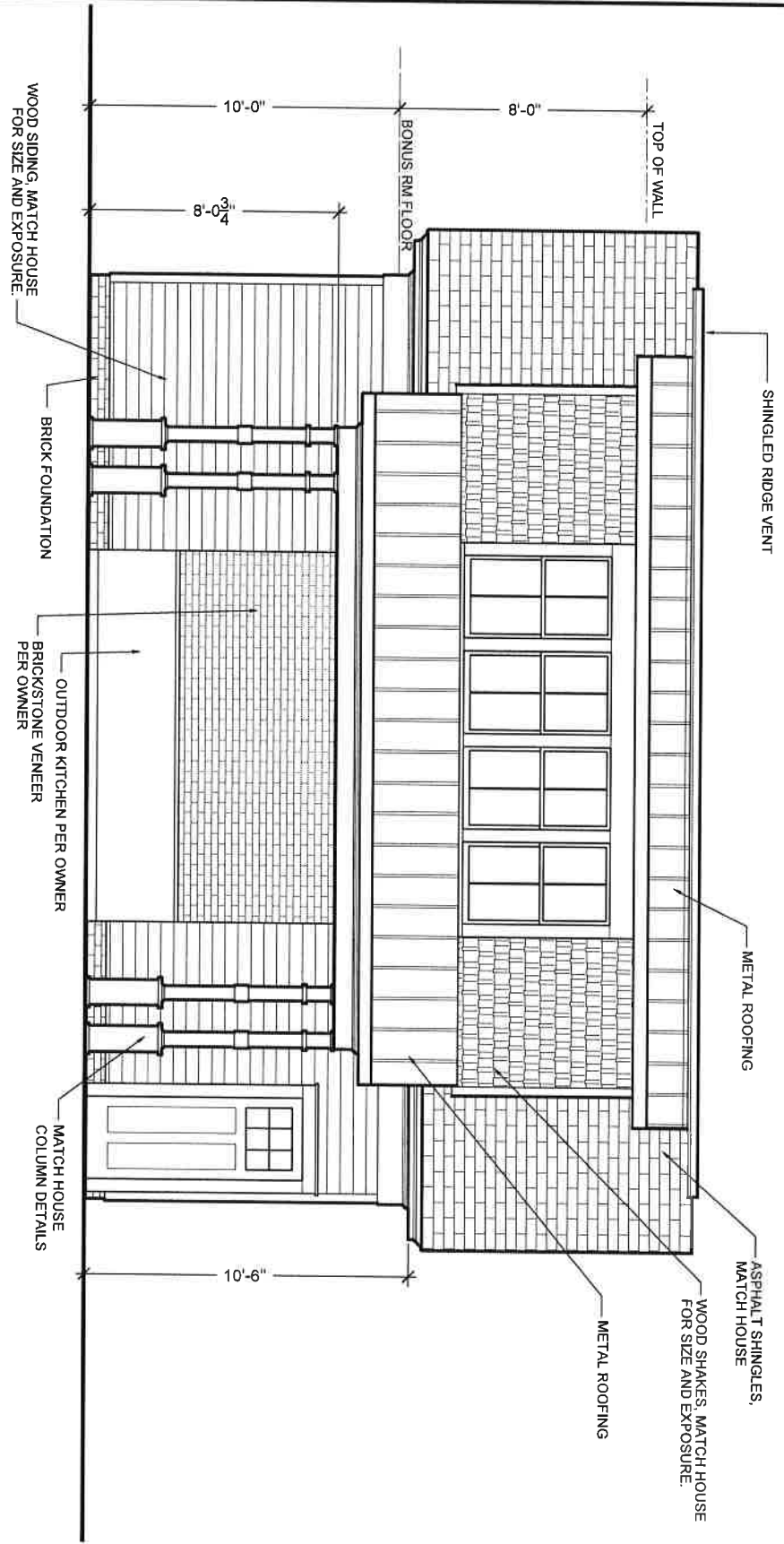
Exhibit D

1 REAR ELEVATION  
A-4 3/16"=1'-0"



<p><b>A-4</b></p>	<p>DATE: 10.01.2020 DESIGN: 11.11.2020 FINAL: 12.01.2020</p>	<p>PROJECT: NEW DETACHED GARAGE FOR: <b>HARRY &amp; ANDREA McKay</b> 135 SPRING STREET NW CONCORD, NC</p>	<p>DRAWN BY: <b>CJG Designs</b> CARY J. GILFILL The CAREER Corporation</p>	<p>147 GLENDALE AVE SE CONCORD NC 28025 Cell: 980.621.0037 caryjg@earthlink.net www.cjgdesigns.net</p>
	<p>REVISIONS: 1. DESIGN DEVELOPMENT 2. PERMIT TO ZONE 09/23/2020 3. PERMIT TO ZONE 09/23/2020 4. PERMIT TO ZONE 09/23/2020</p>	<p>DESIGNED BY: CARY J. GILFILL CHECKED BY: CARY J. GILFILL DATE: 10.01.2020</p>	<p>THIS DRAWING IS THE PROPERTY OF CARY J. GILFILL. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CARY J. GILFILL. THE USER OF THIS DRAWING AGREES TO HOLD CARY J. GILFILL HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USE OF THIS DRAWING.</p>	

Exhibit D



1  
A-5  
3/16"=1'-0"  
YARD SIDE ELEVATION

PROJECT: NEW DETACHED GARAGE FOR:  
HARRY & ANDREA McKay  
135 SPRING STREET NW CONCORD, NC  
YARD SIDE ELEVATION

DATE: 10.01.2020  
DESIGN: 11.11.2020  
FINAL: 12.01.2020  
DRAWN BY: CJG Designs  
147 GLENDALE AVE SE CONCORD NC 28025  
Cell: 980.621.0037  
cjd@designs@earthlink.net www.cjgdesigns.net

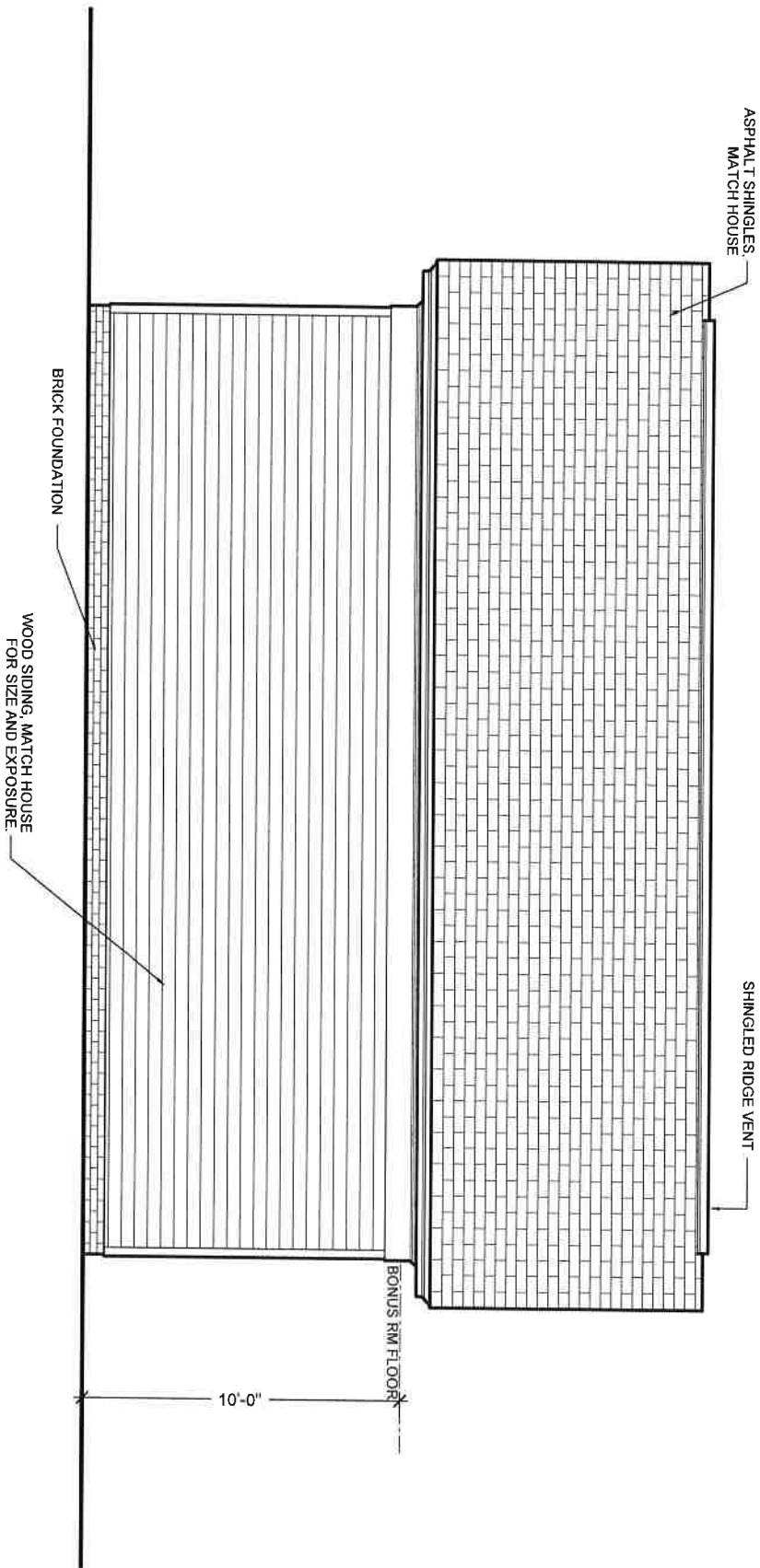
REVISIONS:  
1. LAYOUT  
2. REVISED  
3. REVISED  
4. REVISED

A-5



Exhibit D

1  
A-6  
3/16"=1'-0"  
FENCE SIDE ELEVATION



A-6

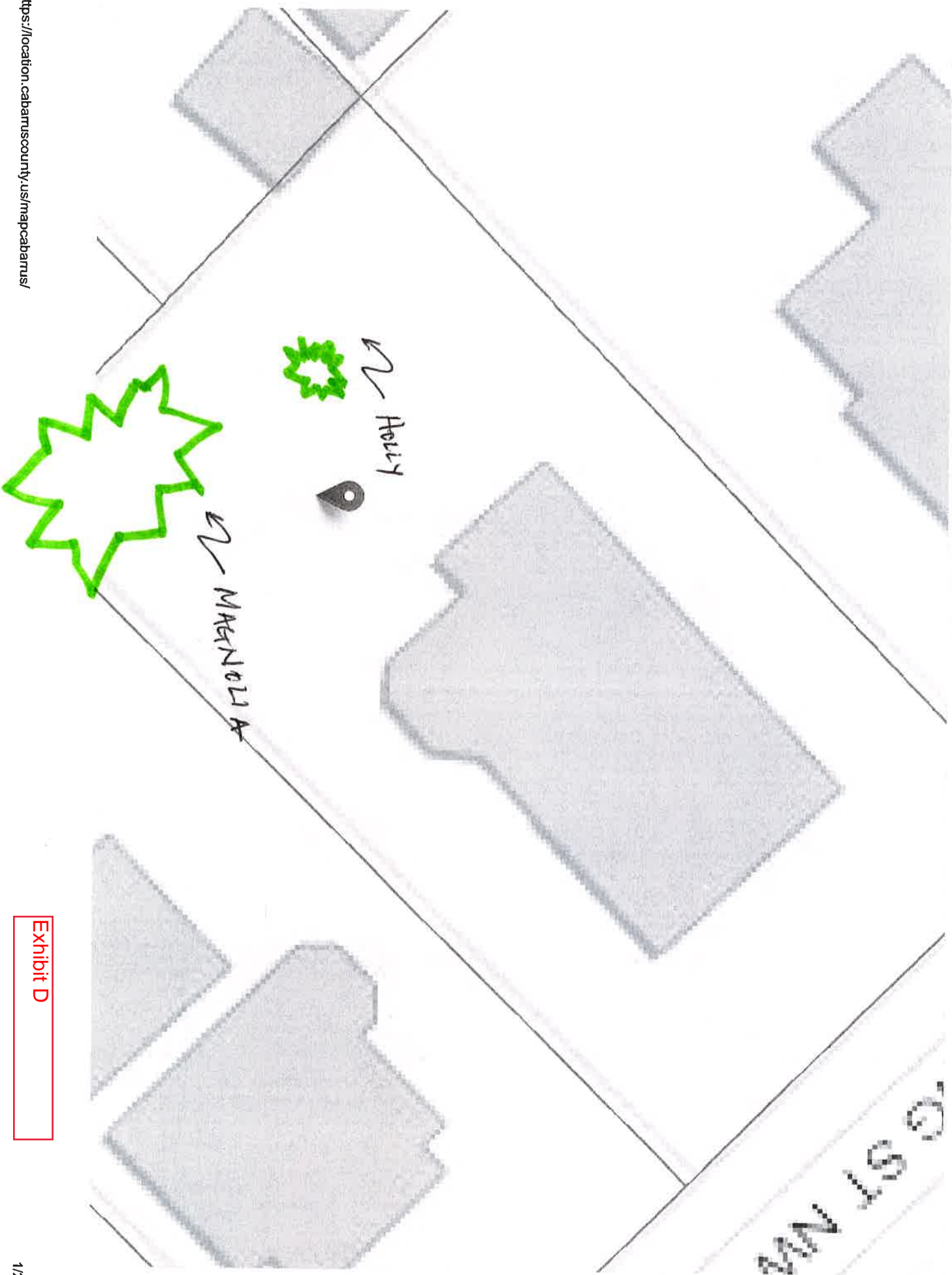
DATE: 10.01.2020  
 DESIGNER: C. J. GILFILL  
 CHECKED BY: C. J. GILFILL  
 DRAWN BY: C. J. GILFILL  
 PROJECT NO.: 202001

REVISIONS:  
 1. OWNER APPROVAL  
 2. PERMITTING  
 3. PERMIT TO SIDE  
 4. PERMIT TO SIDE

PROJECT: NEW DETACHED GARAGE FOR:  
 HARRY & ANDREA MCKAY  
 135 SPRING STREET NW CONCORD, NC  
**FENCE SIDE ELEVATION**

DRAWN BY:  
**CJG Designs**  
 CARY | GILFILL  
 The CAREM Corporation  
 147 GLENDALE AVE SE CONCORD NC 28025  
 Cell: 980.621.0037  
 cjd@cjgdesigns.com www.cjgdesigns.net

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https://location.cabarruscounty.us/mapcabarrus/

Exhibit D

WINDOWS-WOOD CONSTRUCTION, DOUBLE HUNG, DIVIDED LIGHT



Exhibit E

WINDOWS-WOOD CONSTRUCTION, ROLLOUT, DIVIDED LIGHT CASEMENT



STANDING SEAM ROOF

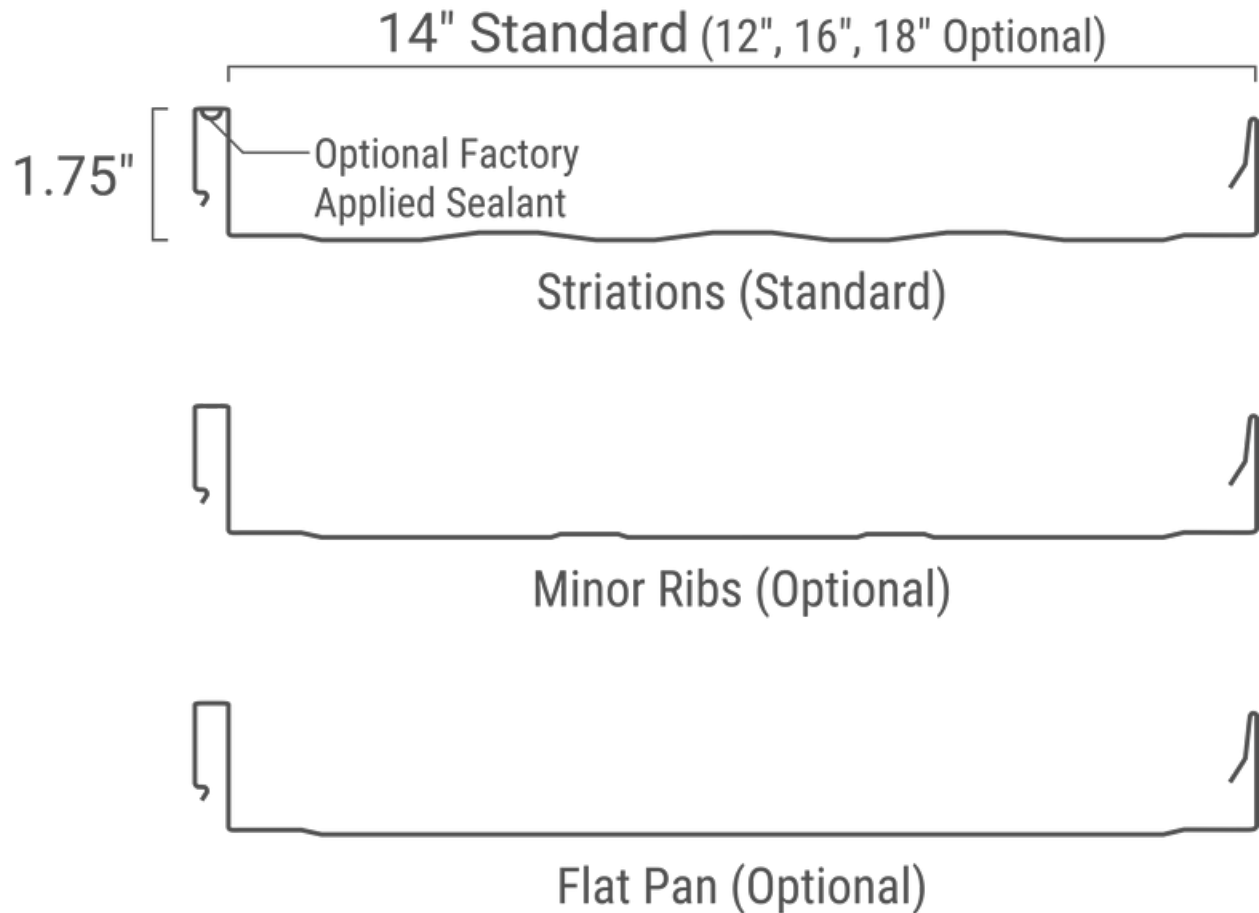


Exhibit E

COLOR-SLATE GRAY



Exhibit E

- WINDOWS
  - Front Gable
    - Wood, divided light, Double-hung 30"W X 60"H
  - Rear Gable
    - Wood, divided light, Double-hung 24"W X 24"H
  - Shed Dormer
    - Wood Rollout, divided light, Casement 32"W X 56"H (Total of 4)
- WALK-IN DOOR
  - Wood construction
- EXTERIOR CLADDING
  - Painted wood clapboard with same reveal as house
  - Painted cedar shingles to match house
  - Painted corner boards will be 5/4" X 5" just as house
- ROOF MATERIAL
  - Shed Dormer
    - Standing seam prefinished metal
      - Slate Gray
  - Patio Roof
    - Standing seam prefinished metal
      - Slate Gray
  - Remaining garage roof
    - Asphalt shingle
      - Architectural style
        - Black to match house
- MASONRY-Tumbled brick
  - Foundation
    - To be painted black to match house
  - Interior above kitchen cooking elements
- DRIVEWAY
  - The driveway is currently concrete. It will need to be extended into the garage slab as shown on plan
- FENCE
  - There is an existing wooden stockade fence on the north side of the property. It is in need of replacement.
    - Replacement will be wooden "shadow box" style 6' high
- LAP POOL
  - Maximum size 10' X 30' Rectangle
    - 4' depth
  - Gunitite construction
  - Minimum decking (18" surround)

GARAGE DOORS-PREFINISHED OR PAINTED CARRIAGE STYLE



Exhibit E



Exhibit E









# TREE RISK ASSESSMENT FORM

Site/Address: 135 Spring St NW

Map/Location: Center of rear yard

Owner: public: \_\_\_\_\_ private: X unknown: \_\_\_\_\_ other: \_\_\_\_\_

Date: 01/28/21\_\_\_\_ Inspector: Bill Leake

Date of last inspection:

## RISK RATING:

**1**      **0**      **2**      **3**  
Failure + Size + Target = Risk  
Potential of part Rating Rating

If approved for removal, the replacement tree species and location shall be listed on the certificate of appropriateness.

## TREE CHARACTERISTICS

Tree #: **2** Species: **American Holly (Ilex opaca)**

DBH: **11"** # of trunks: **1** Height: **30'** Spread: **15'**

Form:  generally symmetric  minor asymmetry  major asymmetry  stump sprout  stag-headed

Crown class:  dominant  co-dominant  intermediate  suppressed

Live crown ratio: 98 % Age class:  young  semi-mature  mature  over-mature/senescent

Pruning history:  crown cleaned  excessively thinned  topped  crown raised  pollarded  crown reduced  flush cuts  
 cabled/braced  none  multiple pruning events Approx. dates:

Special Value:  specimen  heritage/historic  wildlife  unusual  street tree  screen  shade  indigenous  protected by gov. agency

## TREE HEALTH

Foliage color.  normal  chlorotic  necrotic Epicormics;

Foliage density:  normal  sparse Leaf size:  normal  small

Annual shoot growth:  excellent  average  poor  none Twig Dieback:

Woundwood :  excellent  average  fair  poor

Vigor class:  excellent  average  fair  poor

Major pests/diseases:

### Growth obstructions:

stakes  wire/ties  signs  cables

curb/pavement  guards

## SITE CONDITIONS

Site Character:  residence  commercial  industrial  park  open space  natural  woodland/forest

Landscape type:  parkway  raised bed  container  mound  lawn  shrub border  wind break

Irrigation:  none  adequate  inadequate  excessive  trunk wetted

Recent site disturbance? NO  construction  soil disturbance  grade change  herbicide treatment

% dripline paved: 0% Pavement lifted: NO

% dripline w/ fill soil: 0%

% dripline grade lowered: 0%

Soil problems:  drainage  shallow  compacted  droughty  saline  alkaline  acidic  small volume  disease center  history of fail  
 clay  expansive  slope \_\_\_\_\_ ° aspect: \_\_\_\_\_

Conflicts:  lights  signage  line-of-sight  view  overhead lines  underground utilities  traffic  adjacent veg.  \_\_\_\_\_

Exposure to wind:  single tree  below canopy  above canopy  recently exposed  windward, canopy edge  area prone to windthrow

Prevailing wind direction: SW Occurrence of snow/ice storms  never  seldom  regularly

## TARGET

Use Under Tree:  building  parking  traffic  pedestrian  recreation  landscape  hardscape  small features  utility lines

Can target be moved? NO Can use be restricted? YES

Occupancy:  occasional use  intermittent use  frequent use  constant use

Exhibit G

# TREE DEFECTS

## ROOT DEFECTS:

Suspect root rot: NO Mushroom/conk/bracket present: NO ID:

Exposed roots:  severe  moderate  low Undermined:  severe  moderate  low

Root pruned: distance from trunk Root area affected: \_\_\_\_\_ Buttress wounded:  When: \_\_\_\_\_

Restricted root area:  severe  moderate  low Potential for root failure:  severe  moderate  low

LEAN: 0 deg. from vertical  natural  unnatural  self-corrected  Soil heaving:

Decay in plane of lean:  Roots broken:  Soil cracking:

Compounding factors: Lean severity:  severe  moderate  low

Concern Areas: Indicate presence of individual structural issues and rate their severity (S = severe, M = moderate, L = low)

DEFECT	ROOT CROWN	TRUNK	SCAFFOLDS	BRANCHES
Poor taper				
Bow, sweep				
Codominants/forks				
Multiple attachments				
Included bark				
Excessive end weight				
Cracks/splits				
Hangers				
Girdling				
Wounds/seam				
Decay				
Cavity				
Conks/mushrooms/bracket				
Bleeding/sap flow				
Loose/cracked bark				
Nesting hole/bee hive				
Deadwood/stubs				
Borers/termites/ants				
Cankers/galls/burls				
Previous failure				

## RISK RATING

Tree part most likely to fail in the next six months: Small Branches

Failure potential: 1 - low; 2 - medium; 3 - high; 4 - severe Size of part: 0 - <3" 1 - 3-6" 2 - 6-18" 3 - 18-30" 4 - >30"

Target rating: 1 - occasional use 2 - intermittent use 3 - frequent use 4 - constant use

### Maintenance Recommendations

none  remove defective part  reduce end weight  crown clean

thin  raise canopy  crown reduce  restructure  cable/brace

Inspect further  root crown  decay  aerial  monitor

Remove tree  If replaced, a similar sized tree species would be appropriate in same general location

If replaced, alternate tree replacement locations are available

Effect on adjacent trees:  none  evaluate

Notification:  owner  manager  governing agency Date: 01/28/21

## COMMENTS

This young tree has no structural or health issues that indicate above normal risk.

Bill Leake

Exhibit G



Exhibit G

# TREE RISK ASSESSMENT FORM

Site/Address: 135 Spring St NW

Map/Location: Left rear corner of yard

Owner: public: \_\_\_\_\_ private: X unknown: \_\_\_\_\_ other: \_\_\_\_\_

Date: 01/28/21\_\_\_\_ Inspector: Bill Leake

Date of last inspection:

## RISK RATING:

**1**      **0**      **2**      **3**  
Failure + Size + Target = Risk  
Potential of part Rating Rating

If approved for removal, the replacement tree species and location shall be listed on the certificate of appropriateness.

## TREE CHARACTERISTICS

Tree #: **1** Species: **Southern Magnolia (Magnolia grandiflora)**

DBH: **10"** # of trunks: **6** Height: **30'** Spread: **25'**

Form:  generally symmetric  minor asymmetry  major asymmetry  stump sprout  stag-headed

Crown class:  dominant  co-dominant  intermediate  suppressed

Live crown ratio: 98 % Age class:  young  semi-mature  mature  over-mature/senescent

Pruning history:  crown cleaned  excessively thinned  topped  crown raised  pollarded  crown reduced  flush cuts  
 cabled/braced  none  multiple pruning events Approx. dates:

Special Value:  specimen  heritage/historic  wildlife  unusual  street tree  screen  shade  indigenous  protected by gov. agency

## TREE HEALTH

Foliage color.  normal  chlorotic  necrotic Epicormics;

Foliage density:  normal  sparse Leaf size:  normal  small

Annual shoot growth:  excellent  average  poor  none Twig Dieback:

Woundwood :  excellent  average  fair  poor

Vigor class:  excellent  average  fair  poor

Major pests/diseases:

### Growth obstructions:

stakes  wire/ties  signs  cables

curb/pavement  guards

## SITE CONDITIONS

Site Character:  residence  commercial  industrial  park  open space  natural  woodland/forest

Landscape type:  parkway  raised bed  container  mound  lawn  shrub border  wind break

Irrigation:  none  adequate  inadequate  excessive  trunk wetted

Recent site disturbance? NO  construction  soil disturbance  grade change  herbicide treatment

% dripline paved: 5% Pavement lifted: NO

% dripline w/ fill soil: 0%

% dripline grade lowered: 0%

Soil problems:  drainage  shallow  compacted  droughty  saline  alkaline  acidic  small volume  disease center  history of fail  
 clay  expansive  slope \_\_\_\_\_ ° aspect: \_\_\_\_\_

Conflicts:  lights  signage  line-of-sight  view  overhead lines  underground utilities  traffic  adjacent veg.  \_\_\_\_\_

Exposure to wind:  single tree  below canopy  above canopy  recently exposed  windward, canopy edge  area prone to windthrow

Prevailing wind direction: SW Occurrence of snow/ice storms  never  seldom  regularly

## TARGET

Use Under Tree:  building  parking  traffic  pedestrian  recreation  landscape  hardscape  small features  utility lines

Can target be moved? NO Can use be restricted? YES

Occupancy:  occasional use  intermittent use  frequent use  constant use

Exhibit G

# TREE DEFECTS

## ROOT DEFECTS:

Suspect root rot: NO Mushroom/conk/bracket present: NO ID:

Exposed roots:  severe  moderate  low Undermined:  severe  moderate  low

Root pruned: distance from trunk Root area affected: \_\_\_\_\_ Buttress wounded:  When: \_\_\_\_\_

Restricted root area:  severe  moderate  low Potential for root failure:  severe  moderate  low

LEAN: 0 deg. from vertical  natural  unnatural  self-corrected  Soil heaving:

Decay in plane of lean:  Roots broken:  Soil cracking:

Compounding factors: Lean severity:  severe  moderate  low

Concern Areas: Indicate presence of individual structural issues and rate their severity (S = severe, M = moderate, L = low)

DEFECT	ROOT CROWN	TRUNK	SCAFFOLDS	BRANCHES
Poor taper				
Bow, sweep				
Codominants/forks				
Multiple attachments				
Included bark				
Excessive end weight				
Cracks/splits				
Hangers				
Girdling				
Wounds/seam				
Decay				
Cavity				
Conks/mushrooms/bracket				
Bleeding/sap flow				
Loose/cracked bark				
Nesting hole/bee hive				
Deadwood/stubs				L
Borers/termites/ants				
Cankers/galls/burls				
Previous failure				

## RISK RATING

Tree part most likely to fail in the next six months: Small Branches

Failure potential: 1 - low; 2 - medium; 3 - high; 4 - severe Size of part: 0 - <3" 1 - 3-6" 2 - 6-18" 3 - 18-30" 4 - >30"

Target rating: 1 - occasional use 2 - intermittent use 3 - frequent use 4 - constant use

### Maintenance Recommendations

none  remove defective part  reduce end weight  crown clean

thin  raise canopy  crown reduce  restructure  cable/brace

Inspect further  root crown  decay  aerial  monitor

Remove tree  If replaced, a similar sized tree species would be appropriate in same general location

If replaced, alternate tree replacement locations are available

Effect on adjacent trees:  none  evaluate

Notification:  owner  manager  governing agency Date: 01/28/21

## COMMENTS

This young tree has no structural or health issues that indicate above normal risk.

Bill Leake

Exhibit G





**From:** [Harry McKay](#)  
**To:** [Katherine Godwin](#)  
**Subject:** RE: McKay Garage  
**Date:** Wednesday, May 26, 2021 3:11:40 PM  
**Attachments:** [image001.png](#)  
[image002.png](#)

---

**[NOTICE: EXTERNAL EMAIL]**

You can duplicate by latest submittal on the site plan. So yes, remove the walkway and label. Remove reference to new parking surface as it already exists. Yes to removing all “new fence” notes.

- The length of the fence in need of replacement is 40’.
- The smoke house has been there for 135 years.

Thanks for all your help.

---

**From:** Katherine Godwin <[godwink@ConcordNC.gov](mailto:godwink@ConcordNC.gov)>  
**Sent:** Wednesday, May 26, 2021 2:59 PM  
**To:** Harry McKay <[Harry.McKay@stencilpainting.com](mailto:Harry.McKay@stencilpainting.com)>  
**Subject:** RE: McKay Garage

Hi Harry,

Thanks for this information. So I am working on your site plan cleaning it up for the presentation and have removed the walkway and the label on the parking pad. Can I remove all references to “new fence” and just add “fence replacement”? Can you also please give me an estimate of this length. Also is the smoke house existing or planned (i.e. needs to be part of the application or a new application)? I’ve also edited your signed application to get rid of the replacement tree reference and the neighbor’s limb removal (see attached). Everything else looks good to go. Thanks!

*Katherine Godwin, AICP*  
Senior Planner  
Planning & Neighborhood Development  
City of Concord | (704) 920-5155  
35 Cabarrus Ave W, Concord, NC 28025



---

**From:** Harry McKay <[Harry.McKay@stencilpainting.com](mailto:Harry.McKay@stencilpainting.com)>  
**Sent:** Wednesday, May 26, 2021 2:28 PM  
**To:** Katherine Godwin <[godwink@ConcordNC.gov](mailto:godwink@ConcordNC.gov)>

**Exhibit H**

**Subject:** McKay Garage

**[NOTICE: EXTERNAL EMAIL]**

Katherine,

I have clarified Cary's drawing where some text was misleading. Please see the updated site plans and elevations. I have also addressed your concerns with the below:

- There will be no new walkway installed and I have corrected that on the updated site plan attached.
- I have made corrections on the bullet list to the pool dimensions to represent the drawing at 10' X 27'.
- There is a new drawing showing tree removal attached.
- Rather than 2 Dogwoods, we will plan to plant one as well as an Elm for canopy.
- We do not anticipate removing a limb from the neighbors tree. It is 40' off the ground.
- We are REPLACING one short side of the EXISTING wooden stockade fence to match the other 2 sides. It will be an improvement over stockade-style to shadow-box style. It will also be stained Charleston Green to match the rest of the fence. I have clarified that on the drawing.
- The brick over the kitchen elements will not be painted and I have clarified that in the bullet list.

Please let me know if you need additional information.

Harry McKay  
President  
Quan Services, Inc.  
Stancil Painting & Drywall, Inc.

4909 Stough Rd SW  
Concord, NC 28027  
Cell Phone: 704-796-2715  
Fax: 704-788-2818  
Office: 704-788-6588 EXT:124

[harry.mckay@stancilpainting.com](mailto:harry.mckay@stancilpainting.com)



Pursuant to North Carolina General Statutes Chapter 132, Public Records, this electronic mail message and any attachments hereto, as well as any electronic mail message(s) that may be sent in response to it may be considered public record and as such are subject to request and review by anyone at any time.

**Exhibit H**